


Notes:

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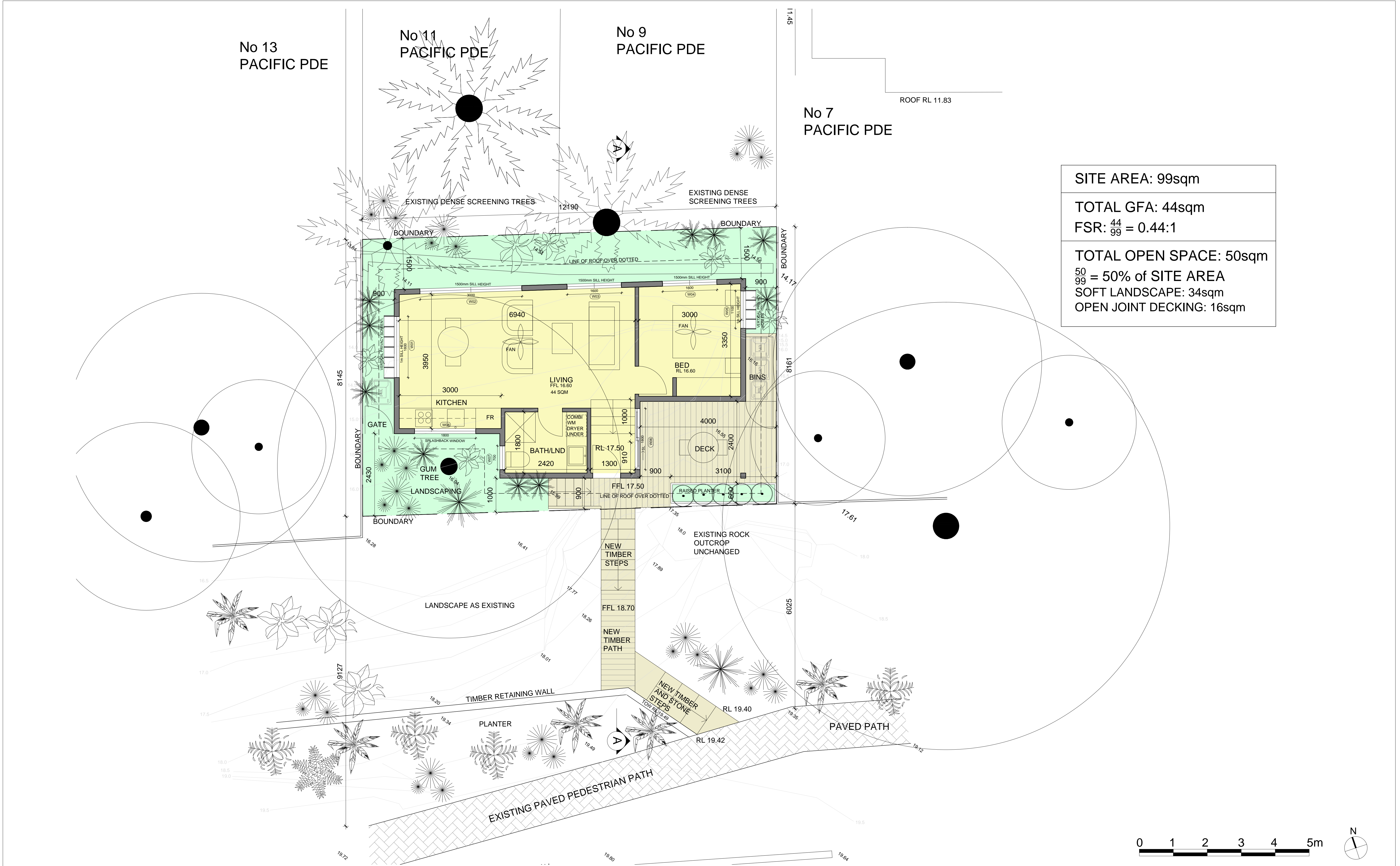
Drawing:

## SITE PLAN SITE ANALYSIS

Rev	Date	Notes
D	23-11-2022	LEC S34AA - EAST & WEST WINDOW PRIVACY SCREEN, DOOR TO DECK
C	16-11-2022	LEC S34AA ISSUE
A	01-12-2021	DA ISSUE
2	22-07-2021	PRE DA MEETING
1	28-05-2021	PRELIMINARY

Project:	NEW RESIDENCE	 <b>CARLISLE</b> ARCHITECTS	
Address:	40 PINE ST MANLY, NSW, 2095	t: 0424 504 500 e: matt@carlislearchitects.com www.carlislearchitects.com ABN: 63 604 133 299 Nominated architect: Matt Carlisle NSW Reg No 7739	
Client:	James Bell	Scale: 1:250 @ A1	Date: 28-05-2021
Job No:	21-04	Drawing No.	Rev:
Stage:	DEVELOPMENT APPLICATION	DA-01	D






SITE AREA: 99sqm
TOTAL GFA: 44sqm FSR: $\frac{44}{99} = 0.44:1$
TOTAL OPEN SPACE: 50sqm $\frac{50}{99} = 50\%$ of SITE AREA SOFT LANDSCAPE: 34sqm OPEN JOINT DECKING: 16sqm

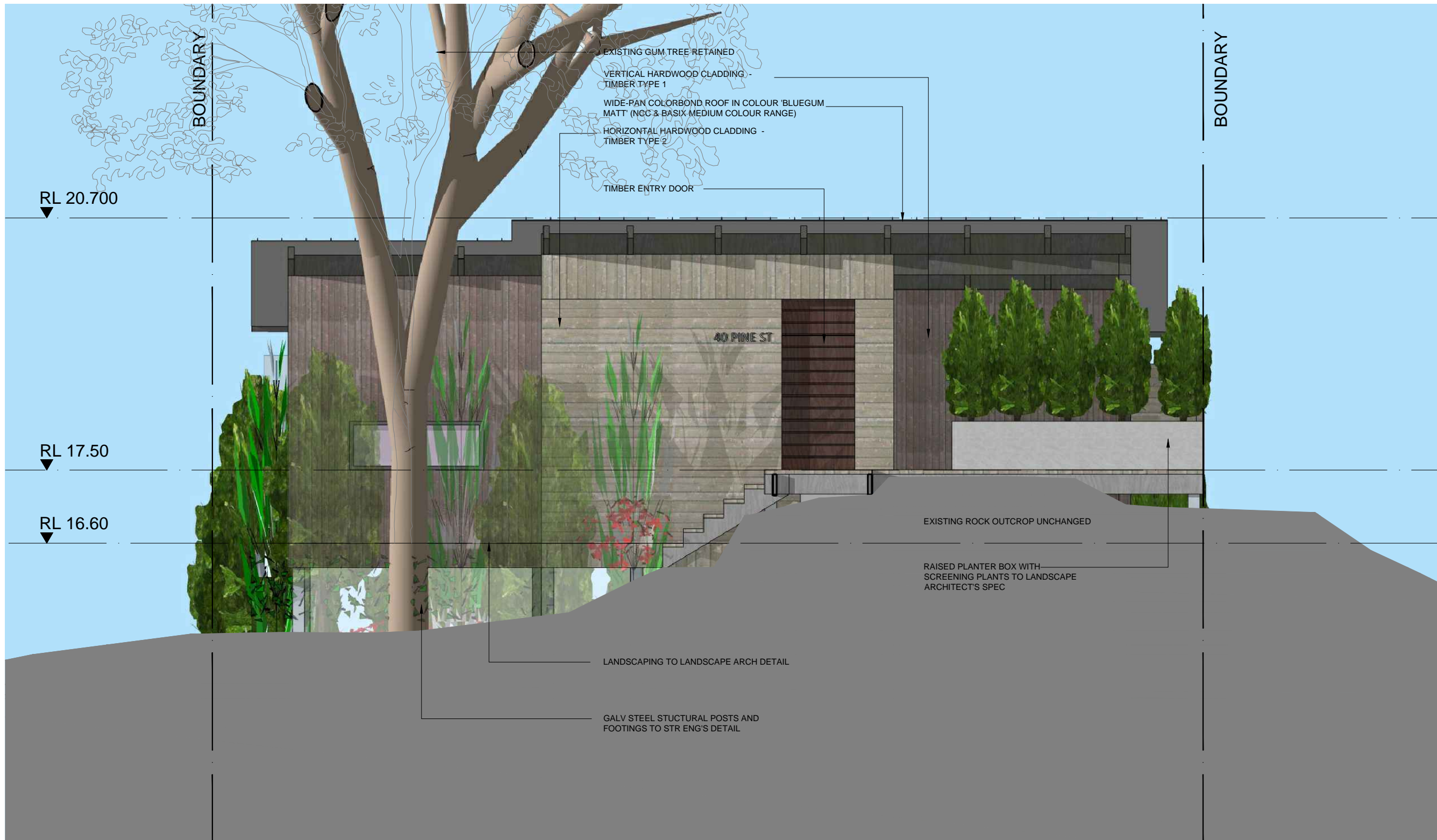
Rev	Date	Notes
D	22-11-2022	LEC S34AA ISSUE - DOOR TO DECK, EAST & WEST WINDOWS SCREENS
C	16-11-2022	LEC S34AA ISSUE
B	22-06-2022	DA ISSUE - BIN STORE MOVED, DECK LARGER
A	01-12-2021	DA ISSUE
2	22-07-2021	PRE DA MEETING
1	28-05-2021	PRELIMINARY

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Drawing:
FLOOR PLAN

Project:	NEW RESIDENCE		C A R L I S L E A R C H I T E C T S
Address:	40 PINE ST MANLY, NSW, 2095		
		t: 0424 504 500 www.carlislearchitects.com Nominated architect: Matt Carlisle	e: matt@carlislearchitects.com ABN: 63 604 133 299 NSW Reg No 7739
Client:	James Bell	Scale: 1:50 @ A1	Date: 28-05-2021
Job No:	21-04	Drawing No.	Rev:
Stage:	DEVELOPMENT APPLICATION	DA-02	D





① SOUTH ELEVATION



② EAST ELEVATION



③ NORTH ELEVATION



④ WEST ELEVATION




Rev	Date	Notes
D	23-11-2022	LEC S34AA - EAST & WEST WINDOW PRIVACY SCREEN, DOOR TO DECK
C	16-11-2022	LEC S34AA ISSUE
A	01-12-2021	DA ISSUE

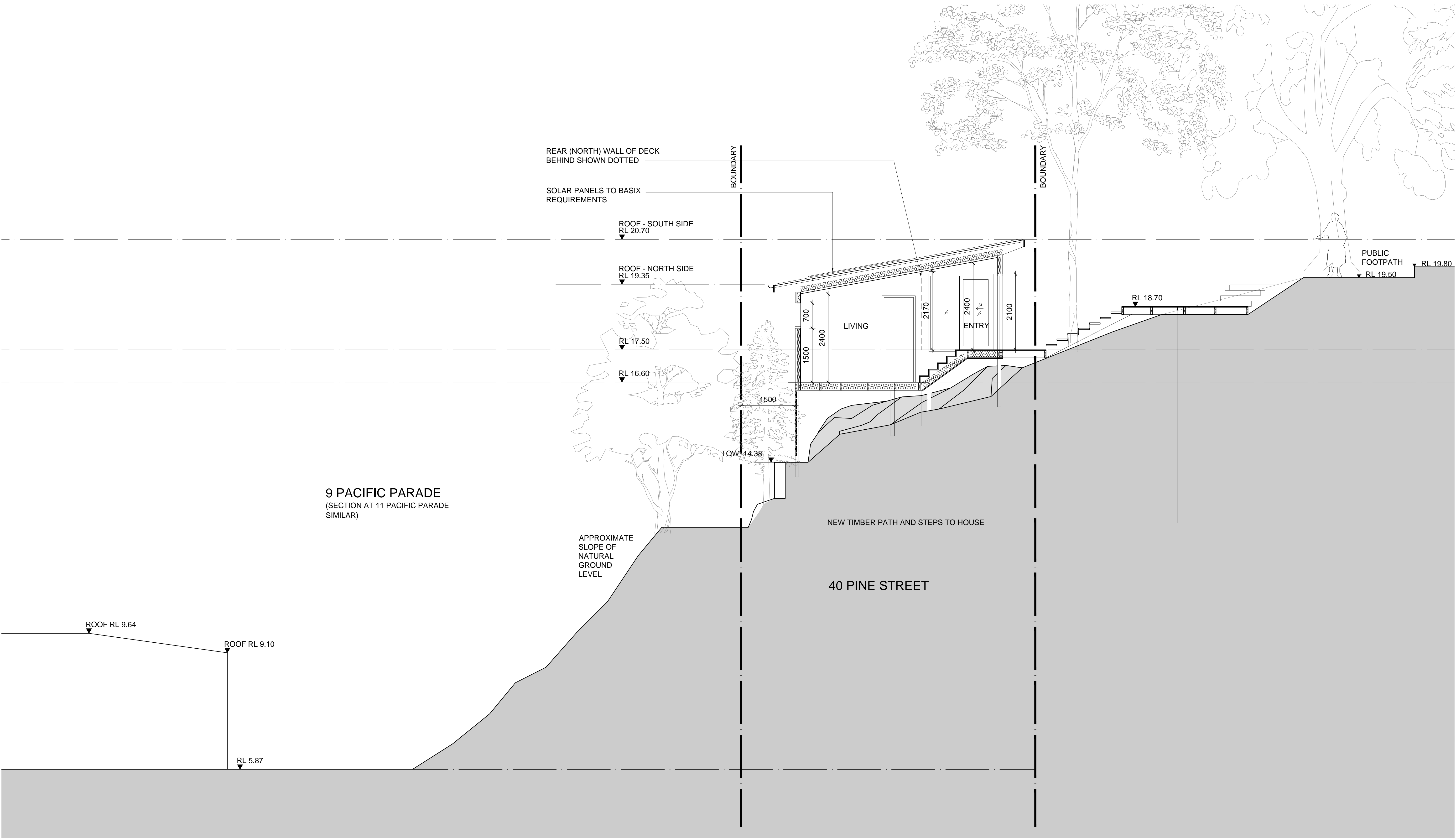
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Drawing:
ELEVATIONS


Project:	NEW RESIDENCE	 <div>CARLISLE ARCHITECTS</div>	
Address:	40 PINE ST MANLY, NSW, 2095	t: 0424 504 500 e: matt@carlislearchitects.com www.carlislearchitects.com ABN: 63 604 133 299 Nominated architect: Matt Carlisle NSW Reg No 7739	
Client:	James Bell	Scale: 1:50 @ A1	Date: 28-05-2021
Job No:	21-04	Drawing No.	Rev:
Stage:	DEVELOPMENT APPLICATION	DA-03	D





1 SECTION AA



			<div>Notes:</div> <ul style="list-style-type: none"><li>DA design only - not for construction</li><li>All structural foundations, beams, walls, slabs, columns etc to be to Structural Engineer's specification and documentation.</li><li>All construction work to comply with current relevant Australian Standards and the Building Code of Australia</li><li>Copyright in all documents and drawings prepared by Carlisle Architects and in any works executed from those documents shall remain the property of Carlisle Architects</li><li>Do not scale from drawings</li><li>Check and verify all dimensions on site before commencement of any work and before ordering or fabricating any parts of the work. Report any discrepancies to the Architect prior to the commencement of any works.</li></ul>	<div>Drawing:</div> <div>SECTION AA</div>	<div>Project:</div> <div>NEW RESIDENCE</div>	<div></div>	
					<div>Address:</div> <div>40 PINE ST MANLY, NSW, 2095</div>	<div>t: 0424 504 500 www.carlislearchitects.com ABN: 63 604 133 299 Nominated architect: Matt Carlisle</div> <div>e: matt@carlislearchitects.com NSW Reg No 7739</div>	
					<div>Client:</div> <div>James Bell</div>	<div>Scale:</div> <div>1:50 @ A1</div>	<div>Date:</div> <div>30-09-2022</div>
					<div>Job No:</div> <div>21-04</div>	<div>Drawing No.</div> <div>DA-04</div>	<div>Rev:</div> <div>D</div>
					<div>Stage:</div> <div>DEVELOPMENT APPLICATION</div>		





① VIEW TO ENTRY



② VIEW FROM PUBLIC FOOTPATH



③ VIEW FROM NORTH EAST




④ VIEW FROM EAST

Rev	Date	Notes
D	23-11-2022	LEC S34AA - EAST & WEST WINDOW PRIVACY SCREEN, DOOR TO DECK
C	16-11-2022	LEC S34AA ISSUE
A	01-12-2021	DA ISSUE

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Drawing:
PERSPECTIVES

Project:	NEW RESIDENCE
Address:	40 PINE ST MANLY, NSW, 2095
Client:	James Bell
Job No:	21-04
Stage:	DEVELOPMENT APPLICATION

	
t: 0424 504 500 e: matt@carlislearchitects.com www.carlislearchitects.com ABN: 63 604 133 299 Nominated architect: Matt Carlisle NSW Reg No 7739	
Scale: 1:50 @ A1	Date: 30-09-2022
Drawing No:	Rev:
DA-05	D